

ophir architecture Itd

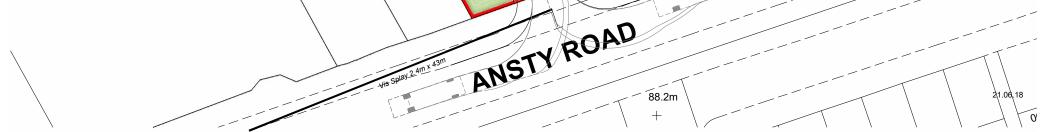
Suite 3 Aspley House 36 Hylton Street Birmingham

All written/scaled dimensions and floor areas are subject to verification by $\mbox{Contractor}(s)$ on site.

This drawing and design are C Copyright Ophir Architecture Ltd. No reproduction or alteration is permitted.

O Preliminary	O Design	Planning		O Construction
Client: Esprit Land Ltd		Scale: 1/1250	Drawing Size: @ A4	
Project: Ansty Road - Coventry		Project No. PBA02	Drawing No. PL001	-(1)
Drawing: Location Plan		Date Sept 2018	Revision. -	NORTH



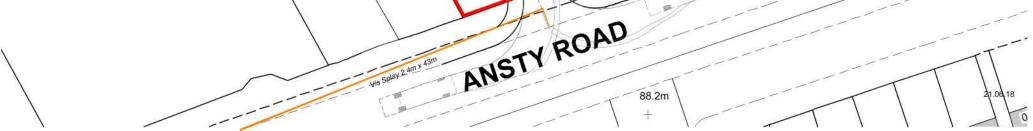


Rev C 12.06.20 Hedgerow note added to northern boundary.

Rev D 24.06.20 Garden fence pulled back from hedgerow by 1.2M to ensure enough room.

ophir architecture Itd	O Preliminary	🔵 Design		anning	
Suite 3	Client:		Scale:	Drawing Size:	
Aspley House 36 Hylton Street Birmingham	Esprit Land Ltd		1:500	@ A3	
	Project:		Project No.	Drawing No.	
All written/scaled dimensions and floor areas are subject to verification by Contractor(s) on site.	Ansty Road - Coventry		PBA02	002	
This drawing and design are © Copyright Ophir Architecture Ltd. No reproduction or alteration is permitted.	Drawing: Proposed Site Plan		Date Sept 2018	Revision. D	NORTH





ophir architecture Itd O Preliminary O Design Planning O Construction Suite 3 Client: Scale: Drawing Size: Aspley House Esprit Land Ltd 1:500 @ A3 36 Hylton Street Birmingham Project: Project No. Drawing No. All written/scaled dimensions and floor areas are Ansty Road - Coventry PBA02 002 subject to verification by Contractor(s) on site. Date Drawing: Revision. NORTH Proposed Site Plan Sept 2018

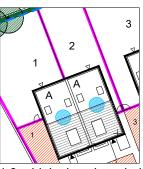
-

Subject to:

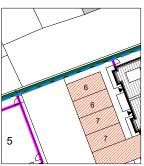
- Utilities Searches .
- **Highways Comments** •
- LA Comment .

This drawing and design are © Copyright Ophir Architecture Ltd. No reproduction or alteration is permitted.



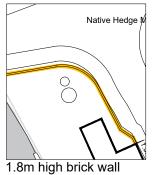


1.8m high close boarded timber fencing



2.3m high close boarded Fence





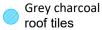


Parking spaces to be block paved



Access road and pavements to be tarmac

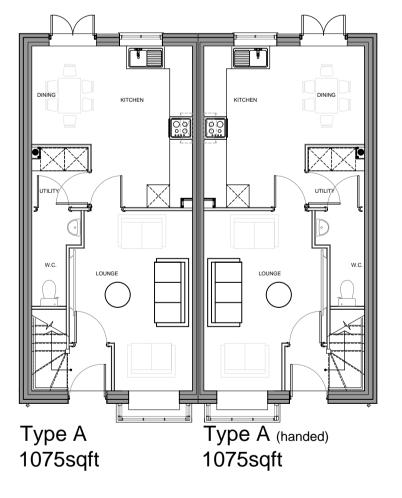
NORTH



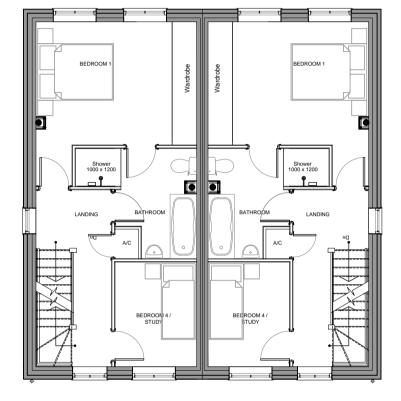
ophir architecture Itd Suite 3 Aspley House 36 Hylton Street Birmingham O Preliminary O Design Planning Client: Scale: Drawing Size: Esprit Land Ltd 1:500 @ A3 Project No. Project: Drawing No. Ansty Road - Coventry PL008 All written/scaled dimensions and floor areas are PBA02 subject to verification by Contractor(s) on site. Drawing: Date Revision. This drawing and design are Copyright Ophir Architecture Ltd. No reproduction or alteration is permitted. Materials and Boundary Treatments Sept 2018 В

Rev	Date	Details
-	##.##.##	-

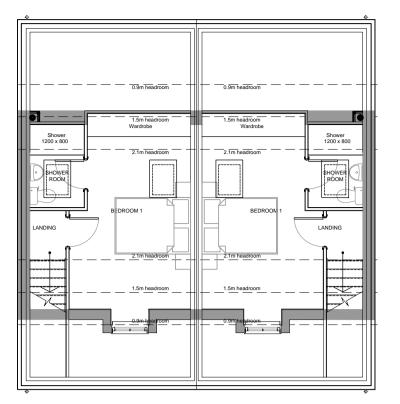
GROUND FLOOR PLAN



FIRST FLOOR PLAN

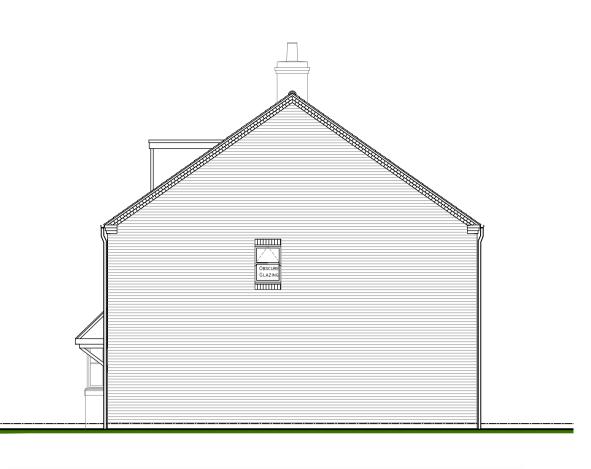


SECOND FLOOR PLAN





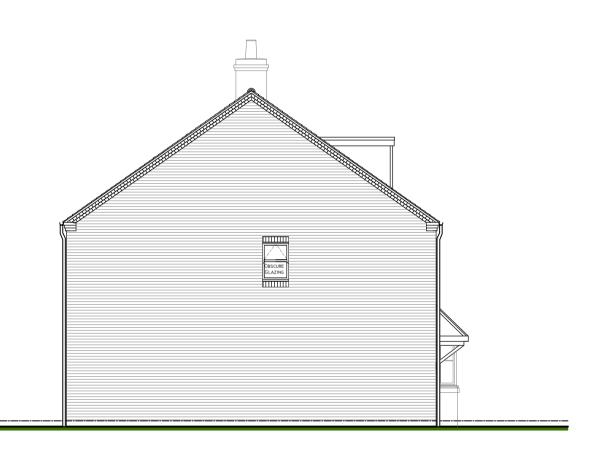
FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION



SIDE ELEVATION



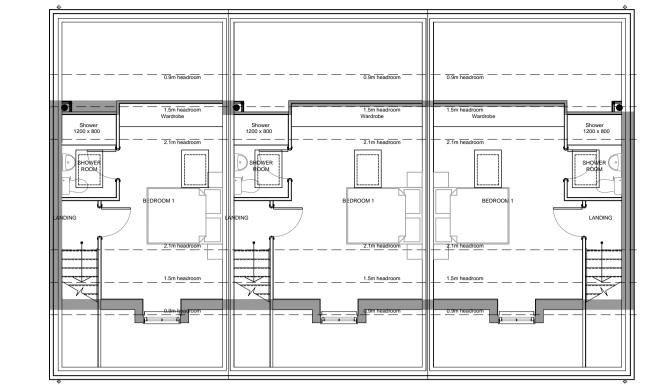
All written/scaled dimensions and floor areas are subject to verification by Contractor(s) on site. This drawing and design are Copyright Ophir Architecture Ltd. No reproduction or alteration is permitted.



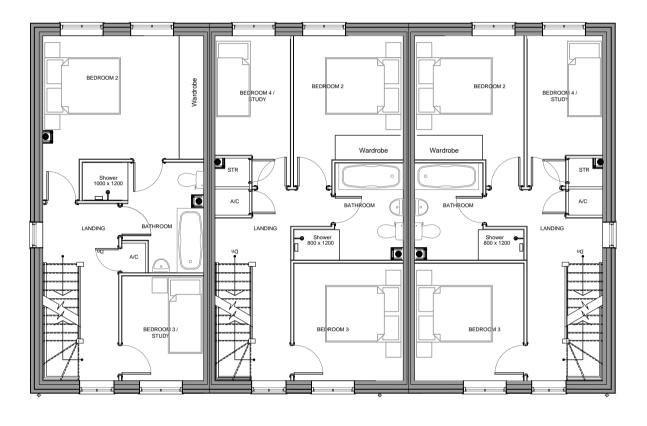
ophir architecture Itd O Preliminary

Ο	Des

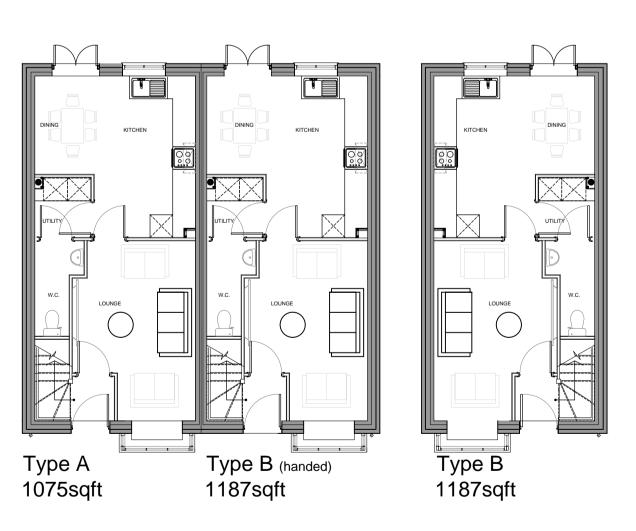
O Preliminary O Design		PI	Construction	
Client:		Scale:	Drawing Size:	
Esprit Land Ltd		1:100	@ A1	\frown
Project:		Project No.	Drawing No.	$ \langle \rangle$
Ansty Road - Coventry		PBA02	PL003	
Drawing:		Date	Revision.	NORTH
House Type A Semi - Plans & I	Elevations	Sept 2018	-	Nowin



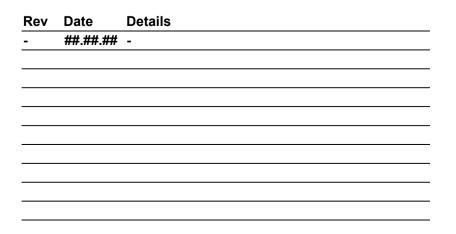
SECOND FLOOR PLAN



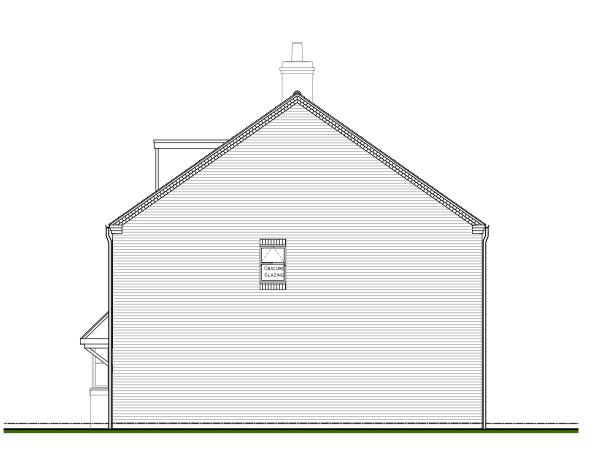
FIRST FLOOR PLAN



GROUND FLOOR PLAN







FRONT ELEVATION







REAR ELEVATION

SIDE ELEVATION

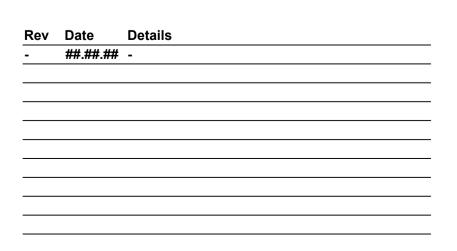


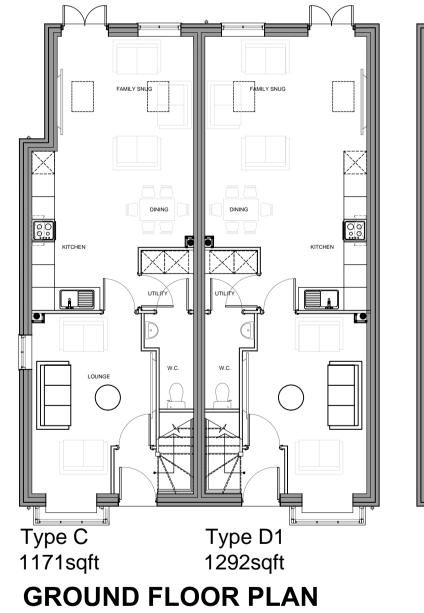
All written/scaled dimensions and floor areas are subject to verification by Contractor(s) on site. This drawing and design are Copyright Ophir Architecture Ltd. No reproduction or alteration is permitted.

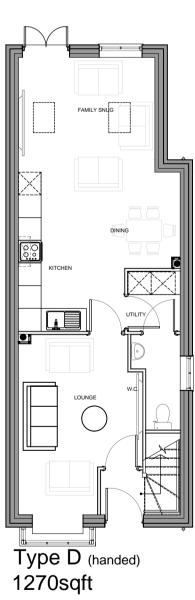
ophir architecture Itd

O Preliminary 🔿 Design Construction Planning Client: Scale: Drawing Size: @ A1 Esprit Land Ltd 1:100 Project: Project No. Drawing No. PBA02 PL004 Ansty Road - Coventry Date Revision. Drawing: NORTH

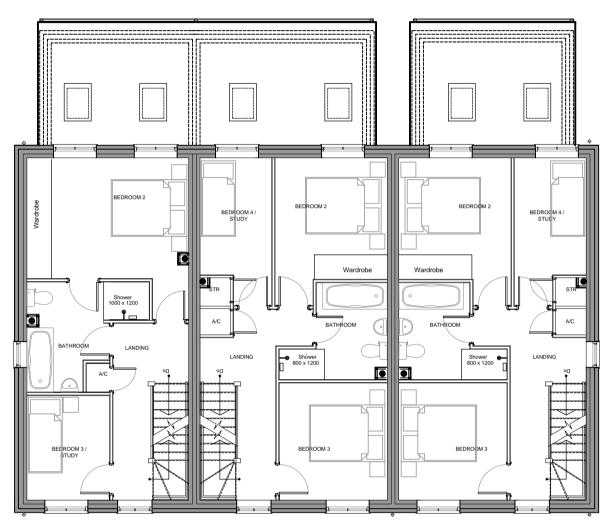
House Type A & B Terrace - Plans & Elevations Sept 2018



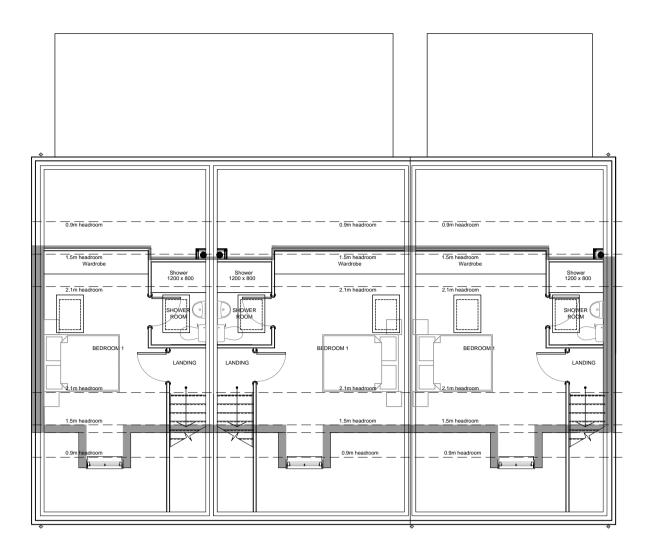




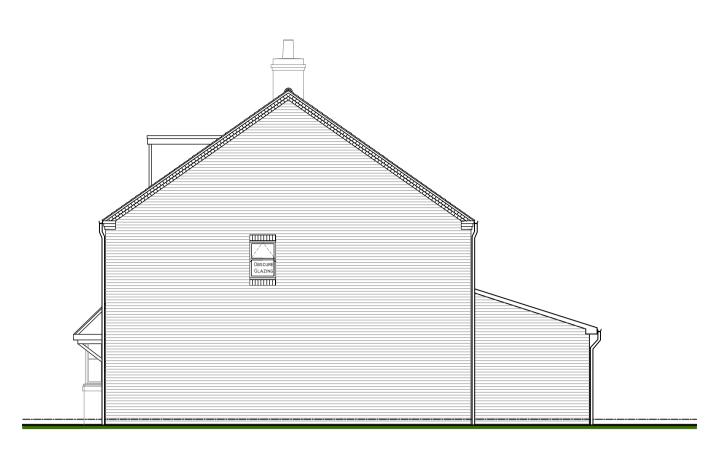
FIRST FLOOR PLAN



SECOND FLOOR PLAN







FRONT ELEVATION

SIDE ELEVATION





REAR ELEVATION

SIDE ELEVATION

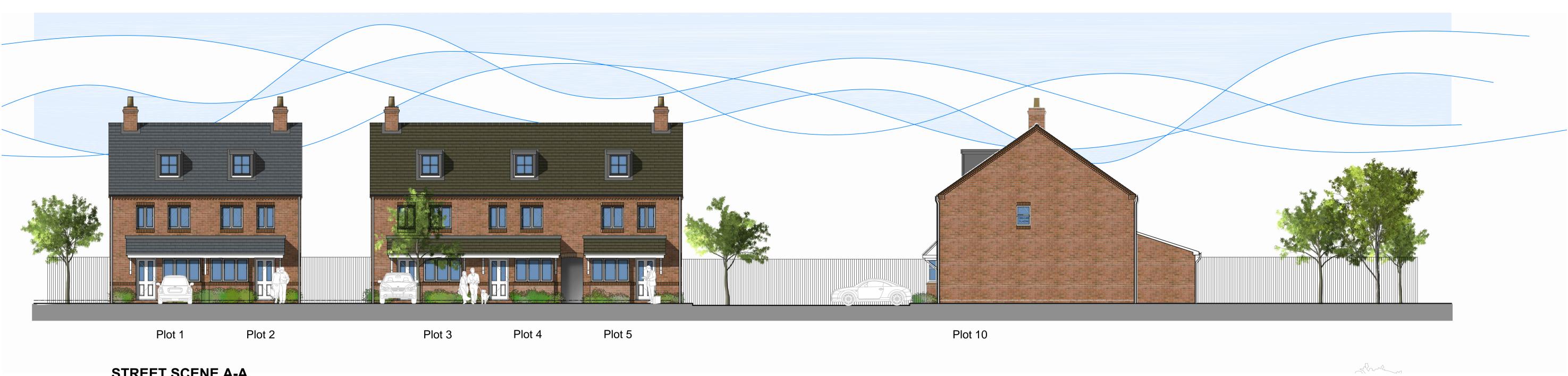


All written/scaled dimensions and floor areas are subject to verification by Contractor(s) on site. This drawing and design are C Copyright Ophir Architecture Ltd. No reproduction or alteration is permitted.



ophir architecture Itd O Preliminary

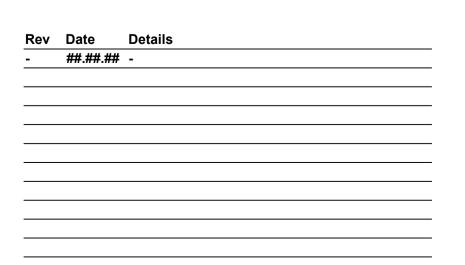
🔿 Design O Construction Planning Client: Scale: Drawing Size: @ A1 Esprit Land Ltd 1:100 Project: Project No. Drawing No. PBA02 PL005 Ansty Road - Coventry Date Revision. Drawing: NORTH House Type C & D Terrace - Plans & Elevations Sept 2018



STREET SCENE A-A



STREET SCENE B-B



Plot 10

Plot 11

Plot 12



No 67 Ansty Road

ophir architecture Itd	O Preliminary O Design		O Planning		
Suite 3	Client:		Scale:	Drawing Size:	
Aspley House 36 Hylton Street Birmingham	Esprit Land Ltd		1:100	@ A1	\frown
	Project:		Project No.	Drawing No.	$ \langle \rangle$
All written/scaled dimensions and floor areas are subject to verification by Contractor(s) on site.	Ansty Road - Coventry		PBA02	PL007	
	Drawing:		Date	Revision.	NORTH
This drawing and design are © Copyright Ophir Architecture Ltd. No reproduction or alteration is permitted.	Street Scenes		Sept 2018	-	Nokim