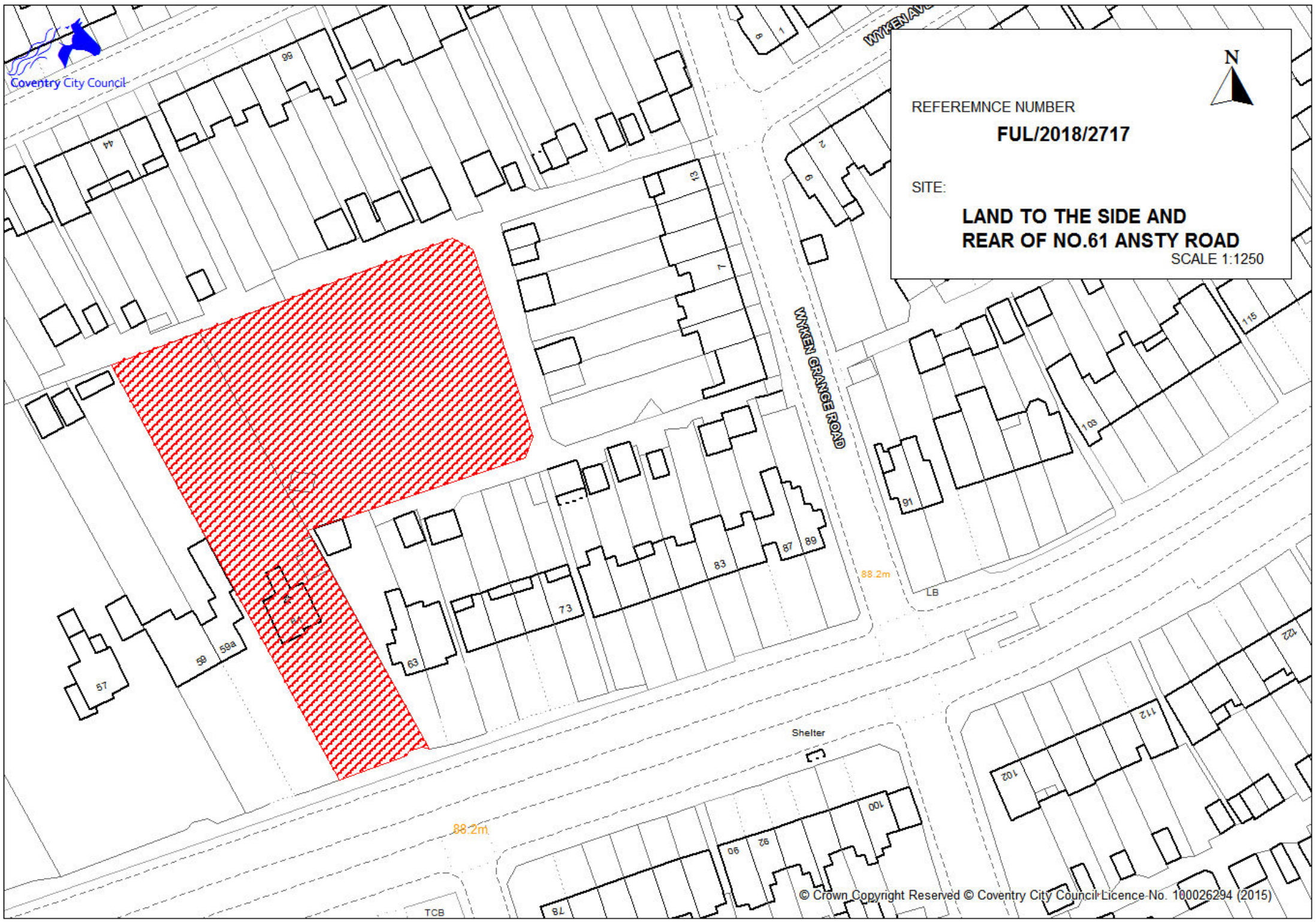
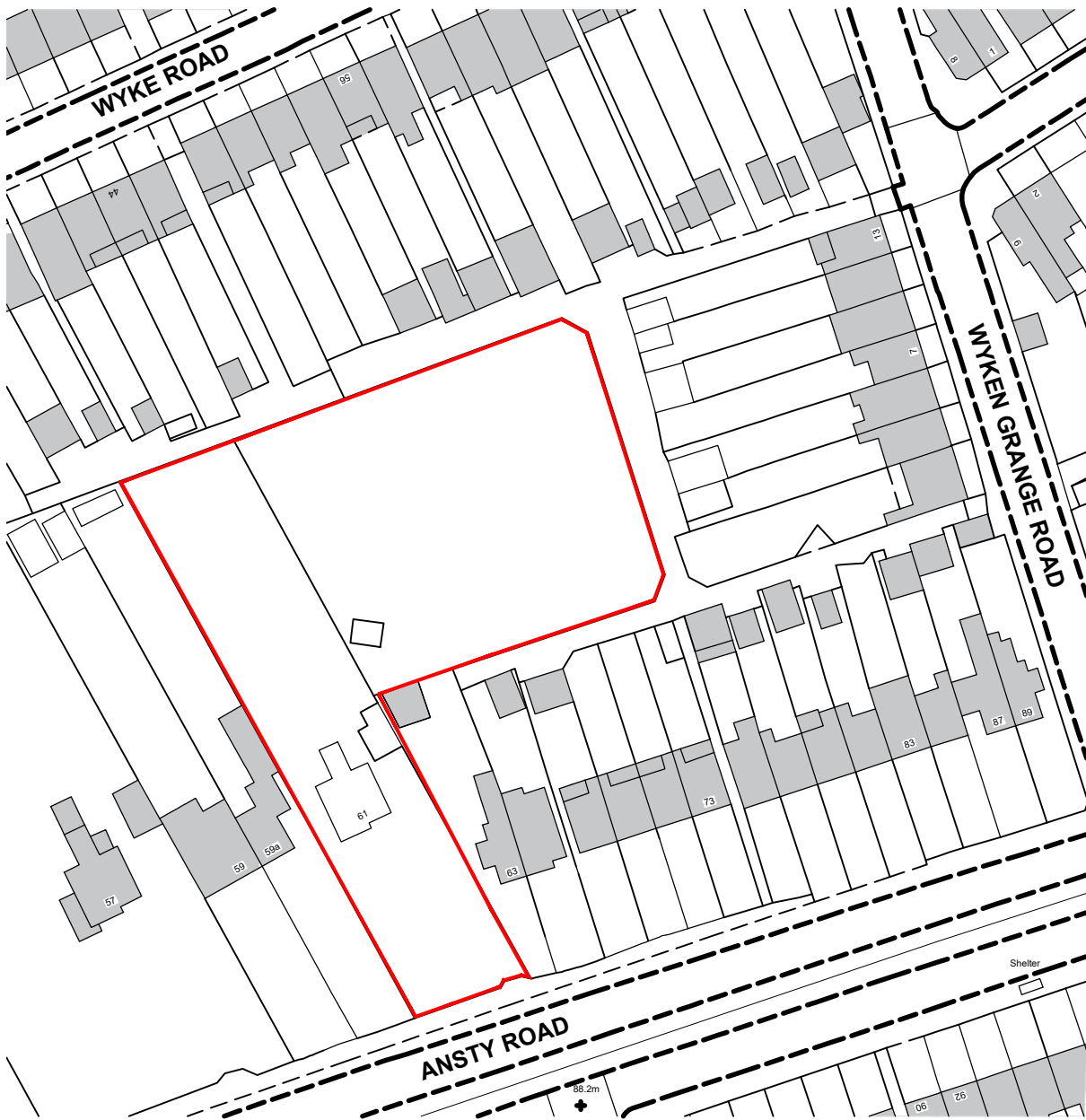




REFEREMNCE NUMBER
FUL/2018/2717

SITE:
**LAND TO THE SIDE AND
REAR OF NO.61 ANSTY ROAD**
SCALE 1:1250





ophir architecture ltd

Suite 3
Aspley House
36 Hylton Street Birmingham

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Preliminary
 Design
 Planning
 Construction

Client:
Esprit Land Ltd

Scale:
1/1250

Drawing Size:
@ A4

Project:
Ansty Road - Coventry

Project No.
PBA02

Drawing No.
PL001

Drawing:
Location Plan

Date
Sept 2018

Revision.
-





Rev C 12.06.20 Hedgerow note added to northern boundary.

Rev D 24.06.20 Garden fence pulled back from hedgerow by 1.2M to ensure enough room.

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36 Hylton Street Birmingham

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○ Preliminary ○ Design ● Planning ○ Construction

Client:
Esprit Land Ltd

Project:
Ansty Road - Coventry

Drawing:
Proposed Site Plan

Scale:
1:500

Project No.
PBA02

Date
Sept 2018

Drawing Size:
@ A3

Drawing No.
002

Revision.
D





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○ Preliminary ○ Design ● Planning ○ Construction

Client:
Esprit Land Ltd

Project:
Ansty Road - Coventry

Drawing:
Proposed Site Plan

Scale:
1:500

Project No.
PBA02

Date
Sept 2018

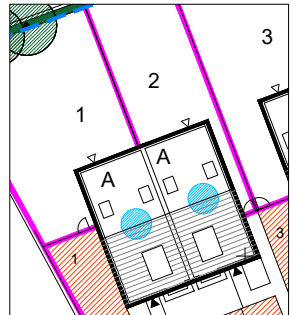
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Drawing No.
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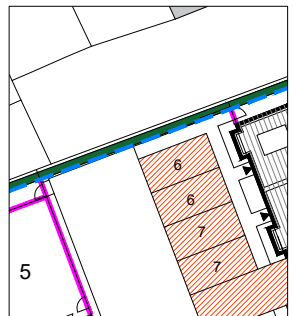
Revision:
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- Subject to:
- Utilities Searches
 - Highways Comments
 - LA Comment

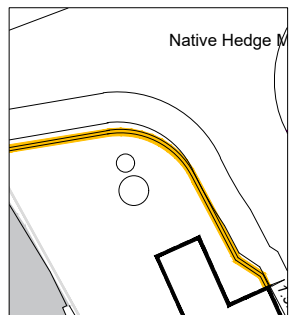




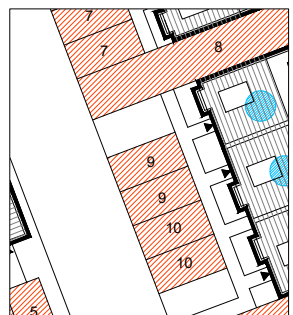
1.8m high close boarded timber fencing



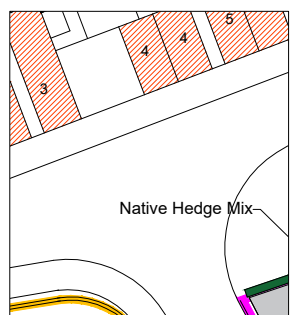
2.3m high close boarded Fence



1.8m high brick wall



Parking spaces to be block paved



Access road and pavements to be tarmac

Grey charcoal roof tiles

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36 Hylton Street Birmingham

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Preliminary Design Planning Construction

Client:
Esprit Land Ltd

Project:
Ansty Road - Coventry

Drawing:
Materials and Boundary Treatments

Scale:
1:500

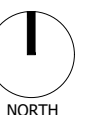
Project No.
PBA02

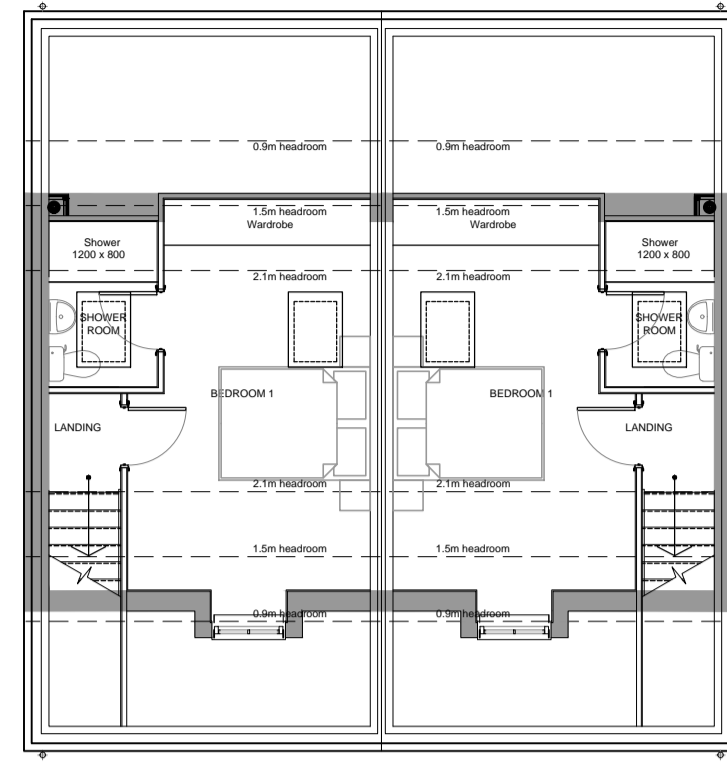
Date
Sept 2018

Drawing Size:
@ A3

Drawing No.
PL008

Revision:
B





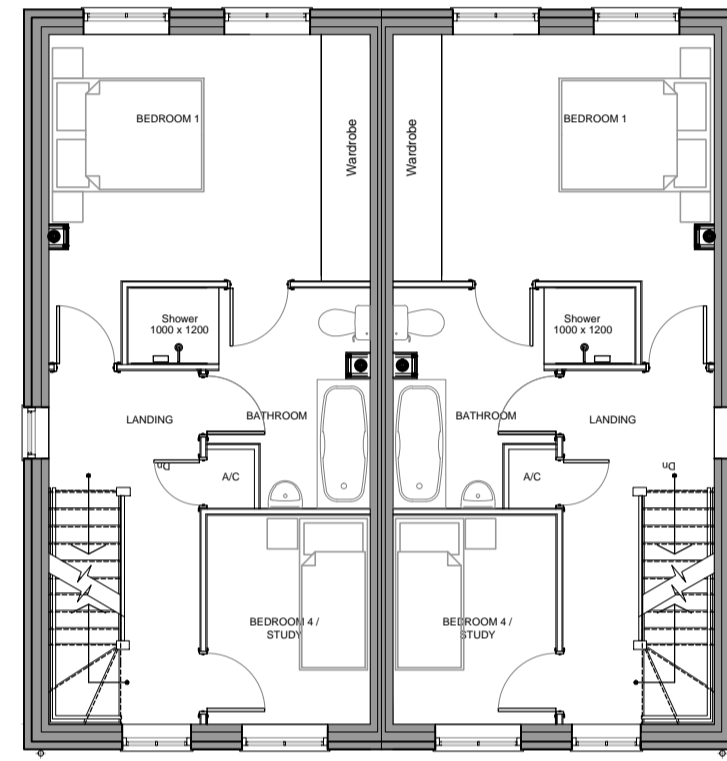
SECOND FLOOR PLAN



FRONT ELEVATION



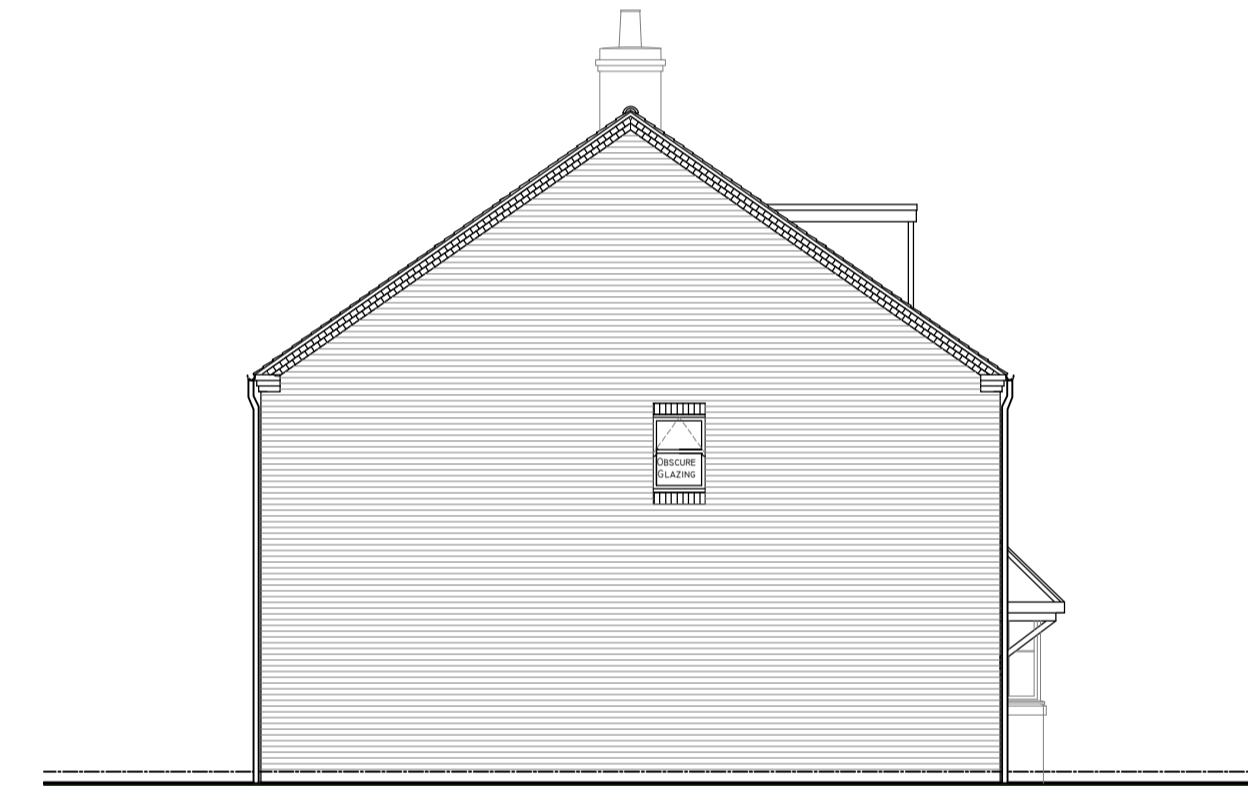
SIDE ELEVATION



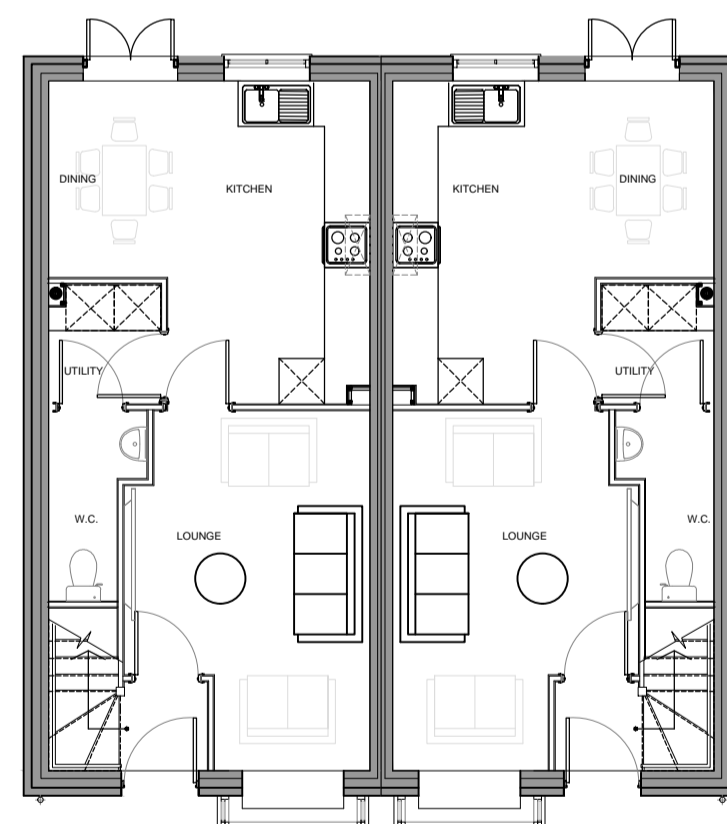
FIRST FLOOR PLAN



REAR ELEVATION



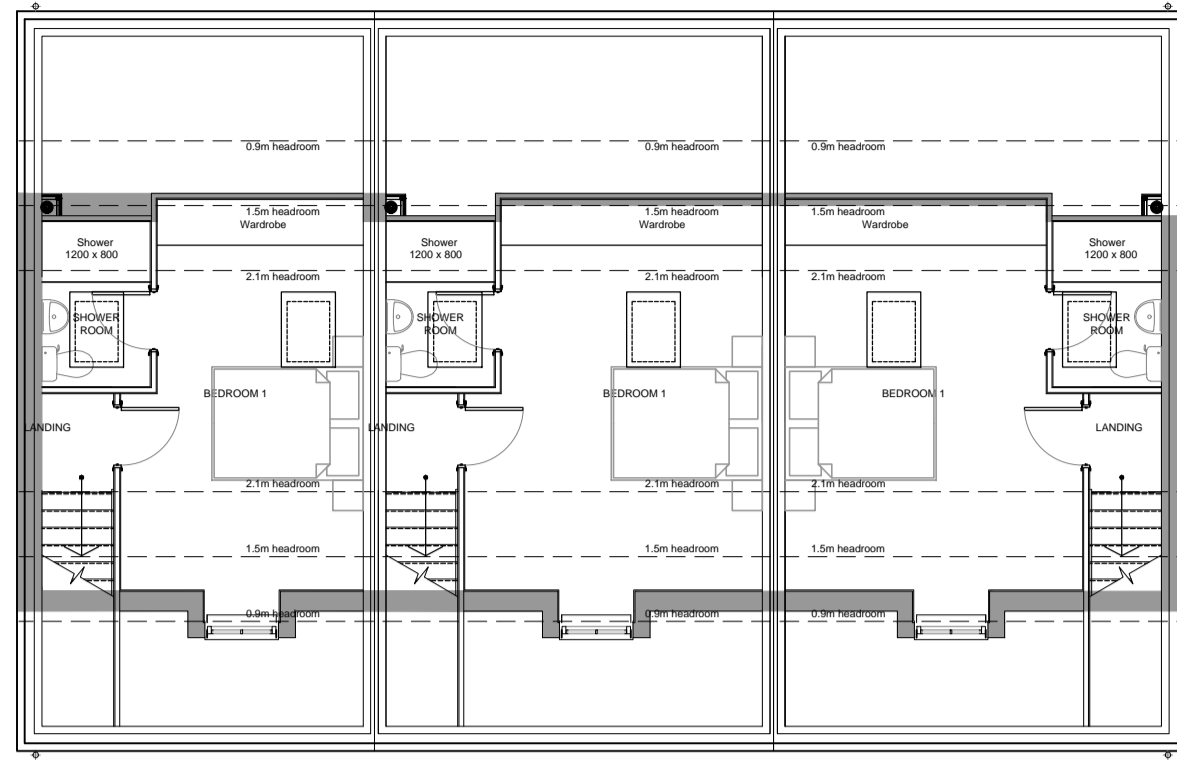
SIDE ELEVATION



Type A
1075sqft Type A (handed)
1075sqft

GROUND FLOOR PLAN

| Rev | Date | Details |
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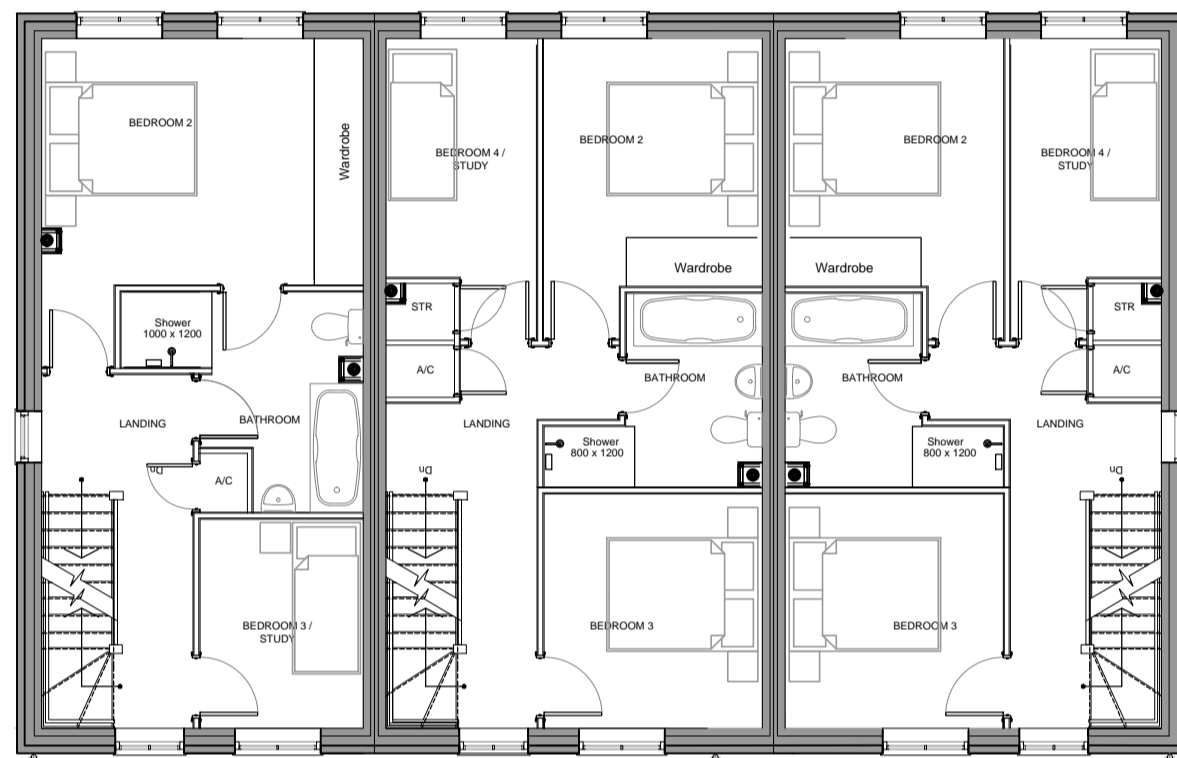
SECOND FLOOR PLAN



FRONT ELEVATION



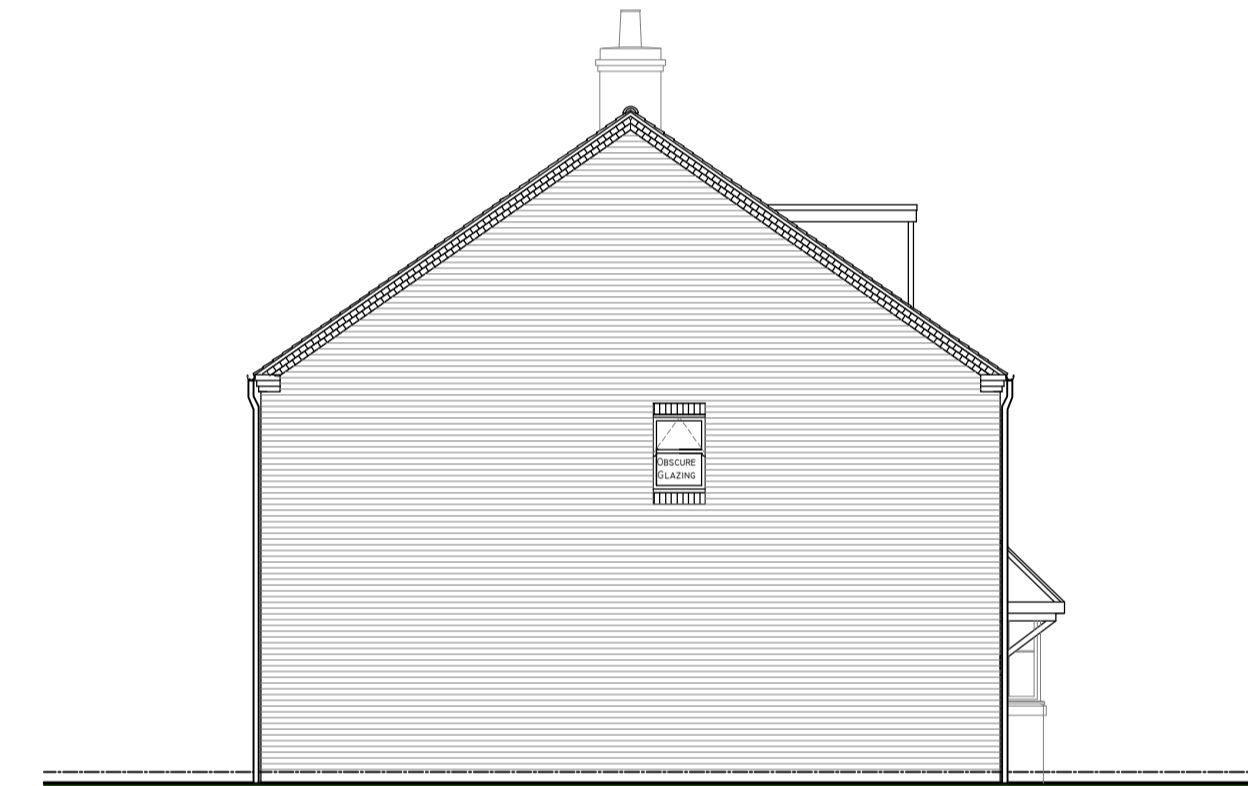
SIDE ELEVATION



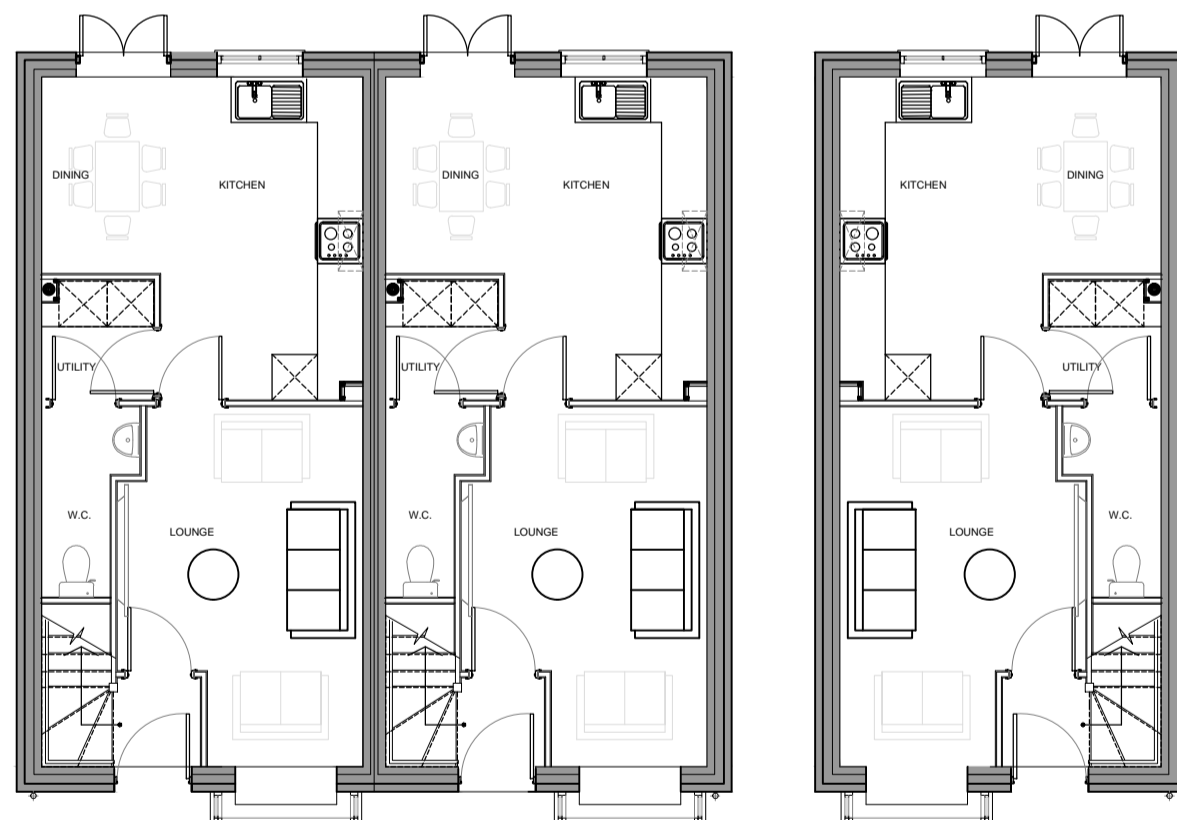
FIRST FLOOR PLAN



REAR ELEVATION



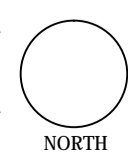
SIDE ELEVATION

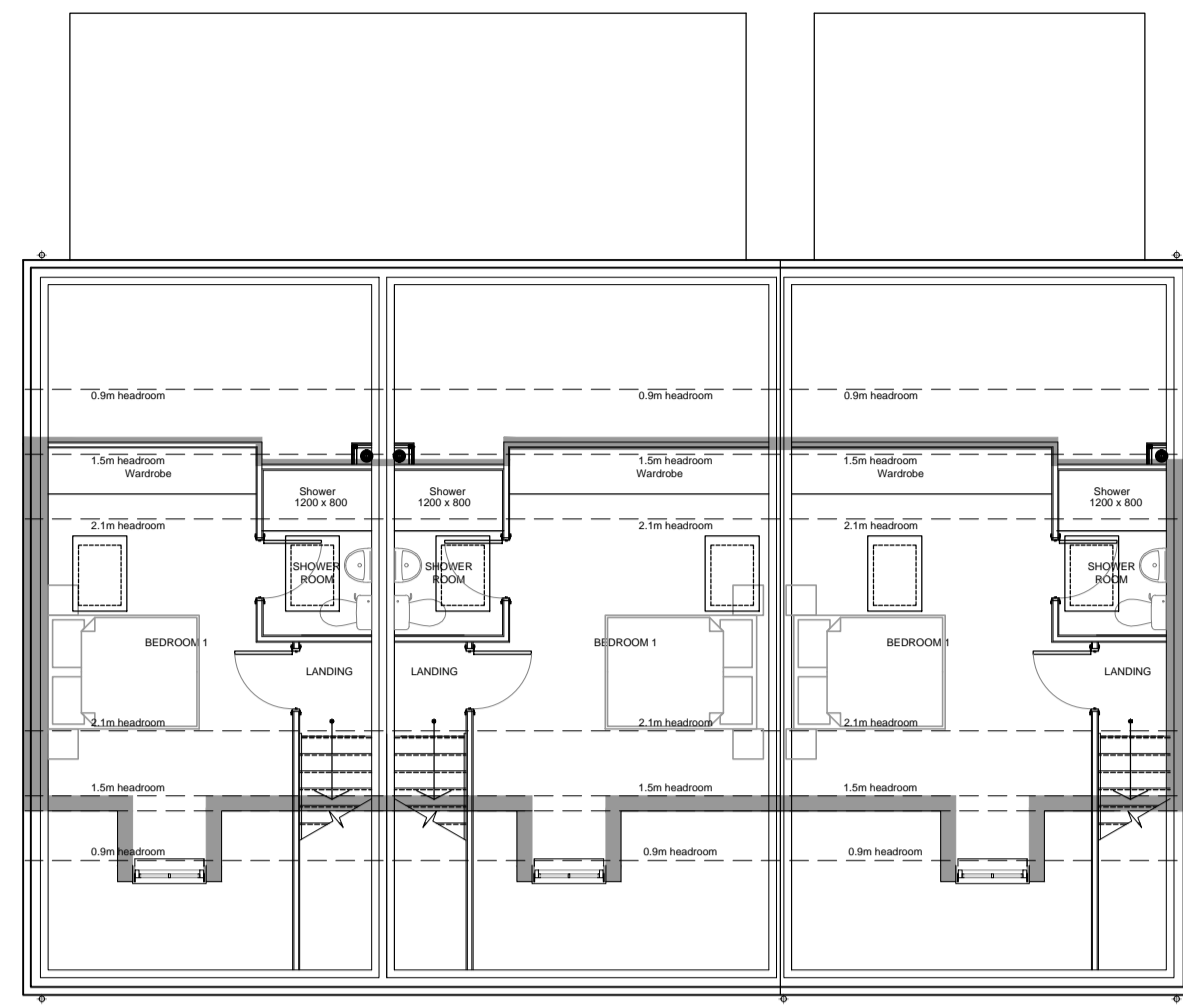


Type A
1075sqft Type B (handed)
1187sqft Type B
1187sqft

GROUND FLOOR PLAN

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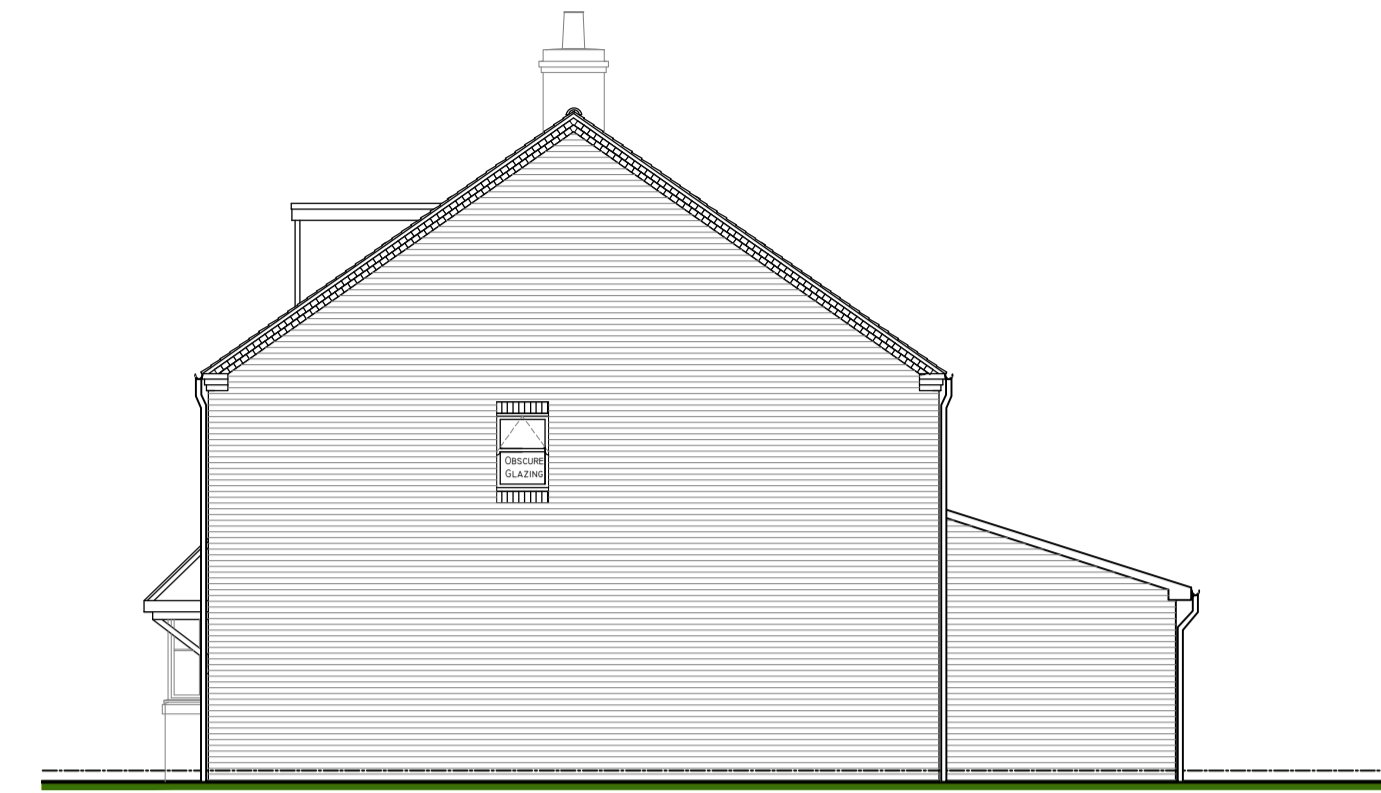




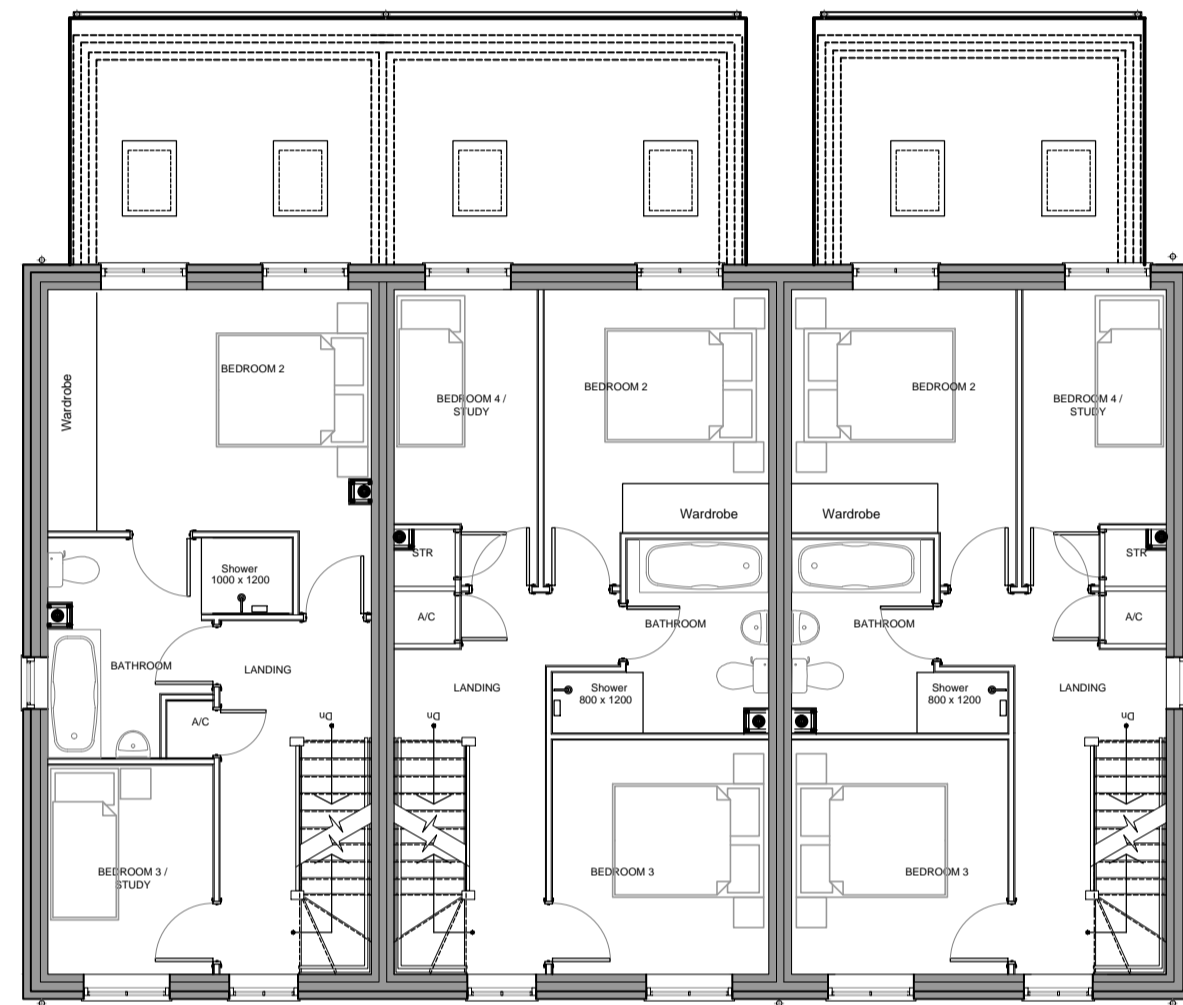
SECOND FLOOR PLAN



FRONT ELEVATION



SIDE ELEVATION



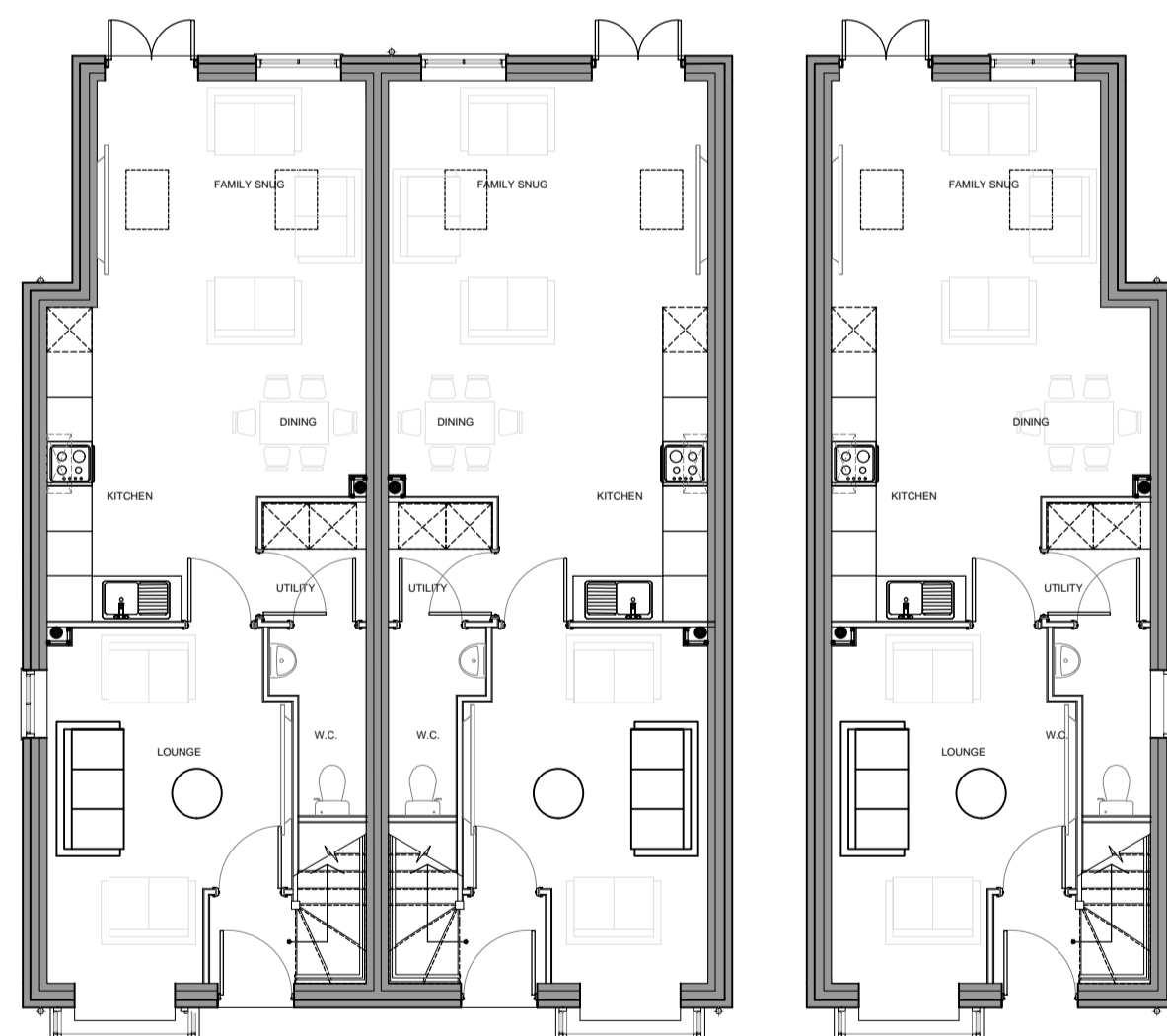
FIRST FLOOR PLAN



REAR ELEVATION



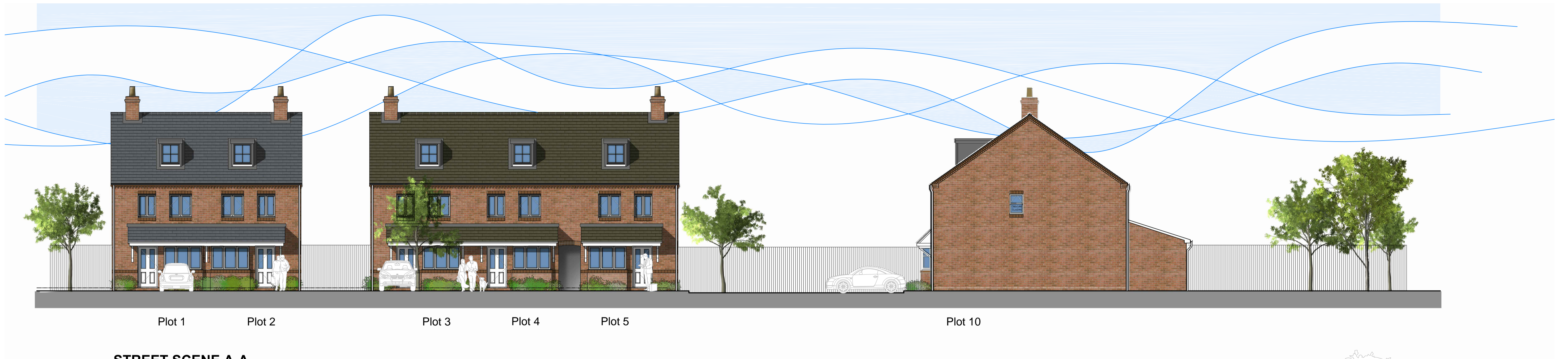
SIDE ELEVATION



Type C
1171sqft
Type D1
1292sqft
Type D (handed)
1270sqft
GROUND FLOOR PLAN

| Rev | Date | Details |
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STREET SCENE A-A



STREET SCENE B-B

| Rev | Date | Details |
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